

DEMOGRAPHIC TRENDS AND ASSUMPTIONS

In order to analyze future housing, park and recreation, governmental, utility and transportation needs of the City it is important to review historic trends that have occurred and develop assumptions for the future growth of the community. Population projections, land use and housing needs are dependent upon a number of factors including those which are outside of the City's control, however projections are necessary in order to assist the City in its long range planning for appropriate infrastructure and services and funding of those items. The information contained in this Chapter has been obtained through statistical data released by the United States Census Bureau, the State Demographer's Office, Scott County, and the City of Jordan, including building permit activity.

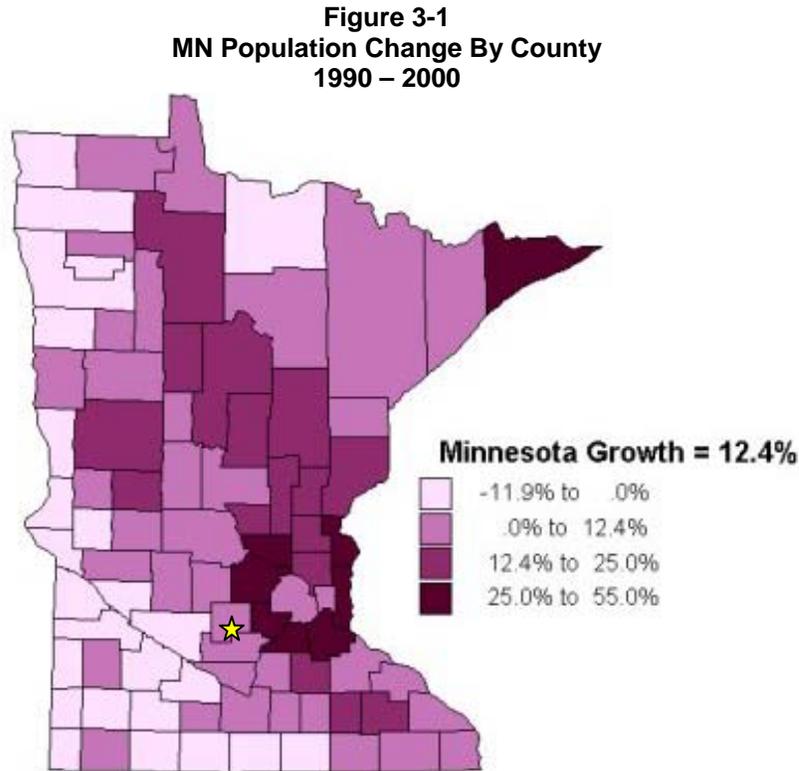
I. SOCIAL PROFILE SUMMARY

- **Population and Housing.** The MN Department of Administration State Demographic Center estimated that the City of Jordan's population as of 2006 was 5,149, an increase of 101 residents from 2005 (5,048), which was up from 4,544 persons and 1,641 households in 2004; 4,413 persons and 1,638 households in 2003 and 4,100 persons and 1,457 households in 2001. The U.S. Census Bureau calculated a census population of 3,833 in 2000 (1,423 housing units) an increase from a population of 2,909 in 1990, and 2,663 in 1980 representing 24% and 30.5% increases respectively over the ten and twenty year periods.
- **Population and Household Projected Growth.** The Metropolitan Council System Statement projects a 2030 population of 13,500 with 5,200 households. The City is planning more aggressively for a population of approximately 15,000 and 6,000 households in the year 2030.
- **Age** distribution statistics indicate the City of Jordan had a median age of 29.2 years (2000 Census). This is younger than Scott County's median age of 32.7 years; the Minnesota median age of 35.4 years and the U.S. median age of 35.3 years per the 2000 Census. 36.3% of Jordan's population in 2000 was 19 years or under and 7.6% of the population 65 years old or older.
- **Gender.** 2000 Census information identifies a gender distribution of 49.8% female to 50.2% male within the City of Jordan, illustrating nearly the same female to male ratio of Scott County (49.5% to 50.5%). The ratio is similar to Minnesota (50.5% female to 49.5% male) and nation (50.9% to 49.1%).
- **Income.** The Housing and Urban Development (HUD) Section 8 Income Guidelines places the 2005 Median *Family* Income in Scott County at \$77,000. The 2000 Census reports a median family income in the City of Jordan of \$53,363. It is estimated that a total of 156 individuals in the City of Jordan are below the poverty level (2000 Census).
- **Employment.** The Minnesota Work Force Center estimates 68,738 people in the labor force in Scott County in March 2006, with 65,973 employed, resulting in a 4.0% unemployment rate. During this same time period Minnesota had an unemployment rate of 4.2% and the United States unemployment rate was 4.5%.
- **Travel Time to Work.** According to the 2000 Census, workers in Jordan traveled an average of 25.3 minutes to their place of employment. This is comparable to workers within Scott County which reported an average of 24.3 minutes for a commute time. The national mean travel time to work reported as a part of the 2000 Census was 25.5 minutes.

II. POPULATION TRENDS

A. Regional and Statewide Context

According to information in the 2000 U.S. Census, the population of the City of Jordan increased by 44% in two decades, from 2,663 persons in 1980 to 3,833 persons in 2000. Scott County also experienced growth during the past 20 years with an increased rate of 51% during these decades. Figure 3-1, below illustrates Minnesota's Population Change according to County.



Source: U.S. Census Bureau

Overall Minnesota's population is projected to grow to 5.45 million by 2010 and 6.27 million by 2030. The current population is about five million. Gains are expected to be greatest in the Rochester-Twin Cities-St. Cloud corridor, but many rural areas can anticipate growth as well, especially if they have lakes and forests. Scott, Sherburne and Carver counties are projected to be the fastest-growing in this decade while 21 counties, mostly in western Minnesota, are expected to lose population.

Table 3-1, on the following page, shows the changes in population that have taken place over time in Jordan and the surrounding townships. Comparisons also are made with Scott County and the State of Minnesota.

**TABLE 3-1
POPULATION TRENDS**

Geographic Area	1980	1990	Change 1980-1990	% Change 1980-1990	2000	Change 1990-2000	% Change 1990-2000
Jordan	2,663	2,909	246	9.2%	3,833	924	31.8%
St. Lawrence Township	n/a	418	--	--	472	54	12.9%
Sand Creek Township	n/a	1,511	--	--	1,551	40	2.6%
Scott County	43,784	57,846	14,062	32.1%	89,498	31,652	54.7%
Minnesota	4,075,970	4,375,099	299,129	7.30%	4,919,479	544,380	12.40%

Source: U.S. Census Bureau

As indicated in the following Table 3-2, the State Demographer's Office estimates the population of Scott County to increase 204% by 2030, or from 89,498 (the 2000 Census population) to a 2030 estimated population of 271,940. This is more aggressive than the Met Council System Statement which projects a 2030 population of 215,370, or a 129% increase.

**TABLE 3-2
SCOTT COUNTY: POPULATION PROJECTIONS BY AGE GROUP AND GENDER**

PROJECTED MINNESOTA POPULATION BY COUNTY, AGE AND GENDER				MINNESOTA STATE DEMOGRAPHIC CENTER, JUNE 2007											
Scott County Age	Estimated 2005 Population		Projected 2010 Population		Projected 2015 Population		Projected 2020 Population		Projected 2025 Population		Projected 2030 Population		Projected 2035 Population		
	Male	Female	Male	Female	Male	Female	Male	Female	Male	Female	Male	Female	Male	Female	
0 to 4	5,018	4,911	6,330	6,040	7,540	7,200	8,300	7,920	8,740	8,340	9,230	8,810	10,030	9,570	
5 to 9	4,886	4,715	6,350	6,170	7,610	7,270	8,690	8,300	9,360	8,940	9,950	9,500	10,430	9,960	
10 to 14	4,963	4,657	5,700	5,490	7,110	6,880	8,280	7,900	9,270	8,850	10,060	9,600	10,620	10,140	
15 to 19	4,178	3,830	5,320	4,790	5,930	5,480	7,200	6,700	8,260	7,620	9,350	8,660	10,080	9,340	
20 to 24	4,195	4,248	4,280	4,230	5,090	4,860	5,430	5,200	6,390	6,080	7,540	7,120	8,420	7,920	
25 to 29	5,200	5,478	6,260	6,640	6,360	6,690	6,880	7,040	6,910	7,060	8,110	8,200	9,180	9,220	
30 to 34	4,978	5,312	7,600	7,480	8,800	8,770	8,900	8,840	9,220	9,030	9,310	9,110	10,550	10,280	
35 to 39	5,568	5,612	6,800	6,600	9,120	8,490	10,380	9,760	10,480	9,850	10,970	10,180	10,910	10,150	
40 to 44	5,958	5,755	6,540	6,500	7,560	7,330	9,620	9,030	10,870	10,300	11,180	10,550	11,620	10,860	
45 to 49	4,832	4,399	6,380	6,260	6,810	6,860	7,660	7,560	9,520	9,110	10,860	10,470	11,180	10,740	
50 to 54	3,462	3,221	5,290	4,800	6,730	6,500	7,040	6,960	7,780	7,540	9,620	9,050	10,960	10,390	
55 to 59	2,607	2,572	3,740	3,510	5,490	5,010	6,820	6,540	7,040	6,880	7,780	7,450	9,510	8,840	
60 to 64	1,873	1,860	2,730	2,640	3,810	3,530	5,450	4,930	6,660	6,310	6,900	6,650	7,570	7,150	
65 to 69	1,169	1,198	1,780	1,890	2,590	2,660	3,580	3,530	5,070	4,850	6,230	6,190	6,450	6,490	
70 to 74	790	886	1,100	1,170	1,650	1,820	2,400	2,550	3,300	3,360	4,680	4,620	5,750	5,850	
75 to 79	571	745	750	900	1,020	1,160	1,510	1,760	2,190	2,470	3,030	3,250	4,280	4,450	
80 to 84	416	510	500	710	630	830	840	1,070	1,250	1,590	1,830	2,250	2,540	2,960	
85+	266	643	440	810	580	1,060	730	1,290	960	1,610	1,390	2,250	2,060	3,190	
Gender totals	60,930	60,552	77,880	76,630	94,420	92,400	109,710	106,880	123,280	119,780	138,010	133,930	152,140	147,520	
Total population	121,482		154,510		186,820		216,590		243,060		271,940		299,660		

June 2007

MINNESOTA STATE DEMOGRAPHIC CENTER

B. City of Jordan Context

Growth within Jordan has been facilitated by a number of items including its proximity to the Twin Cities, strong growth within Scott County, completion of the Highway 169 bypass and Bloomington Ferry Bridge. In addition, Jordan is in close proximity to Highway 212, which is being improved. These factors, along with its topography, natural resources and small town atmosphere make Jordan an attractive location for those desiring to live in a mid-sized community setting close to metropolitan amenities. It is reasonable to expect that the City's population will continue to grow as people migrate from the growing metropolitan areas in search of a more rural lifestyle and as existing younger residents of the City begin to establish families. The rate of growth increased significantly from the time the 2000 Census was completed to 2007.

III. CITY OF JORDAN POPULATION AND HOUSEHOLD PROJECTIONS

The role that population projections play is central for forecasting future municipal services, and infrastructure, and future retail, commercial and industrial market potential. While the Metropolitan Council has provided population projections, the City of Jordan, based on developer and community input, is planning more aggressively to ensure municipal infrastructure is adequately planned for. The construction of infrastructure is proposed to occur as actual growth occurs, rather than based on years projected households and employment are forecasted.

Projections of population and households in Jordan were developed on the basis of an analysis of local and regional trends and policies, and through the application of economic and demographic principals, with emphasis on the detailed profile of the City developed in this planning inventory. Specific data applied to the projections were the rate of residential building permits issued since 1996, trends in City's urban and rural areas and Scott County growth.

A. Population Projection Methodologies

Projections are estimates of future populations based on statistical models that extrapolate past and present trends into the future. Projections can be created through very simple or very complex calculations. The type of calculations used is based on the available data and desired use of the projection. *Forecasts* are also estimates of a future population based on statistical models. Forecasts, however, include additional adjustments made to reflect assumptions of future changes. It is noted that actual population, household and employment projections are affected by a number of factors including things outside of the City's control such as state and nation economy, gas prices, interest rates, etc, but are also affected by local factors such as development fees, availability of utilities and zoning regulations.

B. Met Council Projections

Jordan is located within the Metropolitan Council jurisdiction; therefore the Met Council has included Jordan in its planning projections. The following table includes population projections for various cities within Scott County based on a method of forecasting known as the cohort-survival method. The cohort-survival method takes the existing population by age and sex and projects it forward using assumptions about rates of births, deaths and migration for five-year age groups, by gender. Past trends for these age-specific rates are analyzed and future assumptions regarding these rates provide input to the model. Recent birth, death and migration rates are given the greatest weight in developing assumptions about the future. The Metropolitan Council has noted a projected decrease in household size between 2020 and 2030 due to the aging baby-boomer.

Overall, the Metropolitan Council has projected Scott County to increase nearly 150% by 2030 making it the fastest growing County in the State. Other communities within Scott County projected to see growth over the next two decades are shown in Table 3-3.

**TABLE 3-3
METROPOLITAN COUNCIL POPULATION PROJECTIONS
SCOTT COUNTY CITIES**

City	2000	2010	2020	2030
Belle Plaine	3,789	7,300	11,800	16,300
Elko	472	2,650	6,400	10,200
Jordan	3,833	5,900	9,700	13,500
New Market	332	3,050	6,700	10,600
Prior Lake	15,917	28,000	40,400	39,900
Savage	21,115	31,900	39,000	42,700
Shakopee	20,568	39,500	48,500	52,000
Scott County Total*	89,498	146,340	186,800	221,770

Source: Metropolitan Council System Statements, Nov. 3, 2006, Jordan updated Jan. 2008.
*Total includes townships not illustrated in Table 3-3.

The Metropolitan Council, as a part of the January 2008 Revised System Statement projected the population of Jordan will increase by 129% between 2010 and 2030 and by 39% between 2020 and 2030. **This plan recognizes the Metropolitan Council’s projections; however, will utilize the more aggressive City’s projections in order to ensure proactive planning for its stand-alone water and sanitary sewer systems. The City has adopted a local capital improvement plan which includes infrastructure requirements for a five year period. Those expenditures are adjusted annually to meet actual needs.**

Table 3-4 illustrates the projected population growth within the City of Jordan and within Scott County, in ten year increments. The Metropolitan Council projects Jordan’s population will more than double by 2030 (145% from 2005) and Scott Council will increase to over 215,000 resident or an 83.19% increase from the estimated 2005 population.

**TABLE 3-4
MET COUNCIL POPULATION PROJECTIONS
CITY OF JORDAN AND SCOTT COUNTY**

City of Jordan				Scott County			
Year	Population Census & Met Council	% Annual Change	2005-2030 % Change	Year	Population Census & Met Council	% Annual Change	2005-2030 % Change
2000	3,833	--	145%	2000	89,498	--	88.6%
2005	5,517	9%		2005	117,569	6%	
2010	5,900	1%		2010	146,340	5%	
2020	9,700	6%		2020	186,800	3%	
2030	13,500	4%		2030	221,770	1%	

Source: Metropolitan Council System Statements

C. City of Jordan Population Projections

It is understood the nature of the City’s future with respect to economic development and housing, agricultural, retail, commercial, and industrial market potentials depends to a great extent on the population growth that may take place in the coming years. The role that population projections play in all of these areas is central. As such, the provision of high quality projections

has been a basic aim for this report and for support of community and/or municipal service policy development.

Projections of population and households in Jordan were developed on the basis of an analysis of local and regional trends and policies, and through the application of economic and demographic principals, with emphasis on the detailed profile of the City developed in this planning inventory. Specific data applied to the projections were the historical growth rates; residential building permits issued since the 2000 Census, recent trends in the city and Scott County, Metropolitan Council forecasts and proposed regional transportation plans which may impact the rate of growth in the community.

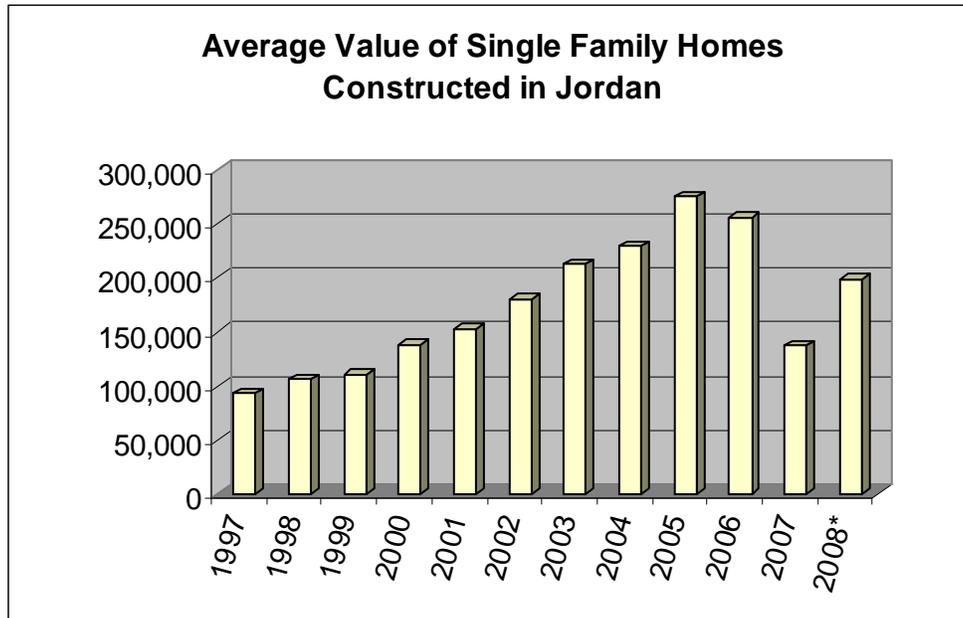
Since the 2000 Census data is already eight years old, building permits assist with identifying more recent trends. Table 3-5 illustrates the number and value of construction of single-family housing since 1995 along with their construction values. The average value per home increased remarkably from 1999 through 2005. The number of annual permits has decreased over the past three years locally, which is consistent with state housing construction trends.

**TABLE 3-5
SINGLE-FAMILY HOUSING CONSTRUCTION SUMMARY**

Year	New Single Family Total Value	Number of New Single Family Units 882(includes attached townhomes)	Average Single Family Home Value
1995	1,980,000	18	110,000.00
1996	3,245,433	31	104,691.38
1997	5,385,846	58	92,859.41
1998	6,033,558	57	105,851.89
1999	7,364,605	62	109,919.47
2000	11,988,603	87	137,800.03
2001	13,357,133	87	153,530.26
2002	16,419,424	91	180,433.23
2003	16,590,535	78	212,699.16
2004	21,774,118	95	229,201.24
2005	24,776,784	90	275,297.60
2006	14,881,185	58	256,572.17
2007	9,323,161	68	137,105.31
2008*	398,340	2	199,170.00
Total	\$153,518,725	882	\$164,652.23

Source: City of Jordan Building Permit Records
*2008 Building Permits January 1st through April 30th

**TABLE 3-6
AVERAGE VALUE OF SINGLE-FAMILY HOME IN JORDAN**



Source: City of Jordan Building Permits

The City of Jordan agrees with the Met Council's revised System Statement household and population projections through 2020 with more aggressive forecasting between 2020 and 2030, resulting in a projected 2030 city population of 15,000 with 6,000 households. This suggests:

- An average of 65 homes per year between 2005 and 2010;
- An average of 146 units per year between 2010 and 2020; and
- An average of 208 units per year between 2020 and 2030.

Table 3-7 illustrates the Metropolitan Council's projected population and households along with the City's projected population, households and residential land use needs. Table 3-7 does not take into account the additional population and households resulting in the possible annexation of already developed land in the townships, as those areas would not require additional raw land for development.

**TABLE 3-7
SUMMARY OF POPULATION PROJECTIONS,
HOUSEHOLD GROWTH AND EMPLOYMENT AND RESIDENTIAL LAND DEMAND**

Year	Met Council Revised System Statement Population Projection	Met Council Household Projections Revised System Statement	City's Projected Residential Acre Demand Based on Met Council System Statement	Land demand with 30% for roads, parks, suing Met Council System Statement	Employment Projections in System Statement Revised Jan. 2008 Met Council and City of Jordan	City's Population Projections	City Projected Households Projection based on 2.6 reduced to 2.5 people per household	City's Projected Residential Acre Demand based on City's Projections	Land Demand with +30% Road, Park Etc. based on City's projections
2000	3,833	1,349			1,264	3,833	1,349	--	--
2005		1,803			1,632	5,048	1,803	--	--
2010	5,900	2,150	116	150	1,985	5,900	2,150	116	150
2015		2,925	258	336	2,340	7,800	2,925	258	336
2020	9,700	3,700	258	336	2,690	9,700	3,700	258	336
2025		4,450	250	325	3,050	12,350	4,850	383	498
2030	13,500	5,200	250	325	3,400	15,000	6,000	383	498
Total				1,819					1,472

*Projected households= Population/2.8 people per household 2005, declining to 2.5 by 2030.

Land required based on average 3 residential units per acre, with 30% overage for streets, ponds, parks, etc.

The above table does not take vacant residential lots into account. This is factored into the Land Use Table 6-4.

The City understands that since Orderly Annexation Agreements are not in place, this may impact the Metropolitan Council's forecasts. The City of Jordan has been approached by developers with interest in large master plan development consisting of up to 1,000 acres or over 3,000 new units, with a build-out of 10 to 15 years. This one development, along with the current inventory of 517 lots would result in over 4,300 households. The City is confident other developments on the south side of the City will also occur in the next 22 years. In addition, the City is in the process of working with the adjacent townships on the development of Orderly Annexation Agreements.

According to the U.S. Census Bureau (2000), the existing size of the City was 2.64 square miles or 1,690 acres, in 2000, with approximately 294 additional acres annexed since the census. According to the City's population and household projections, an additional 1,819 acres would be required to meet residential growth which is projected. If Met Council projections are employed, 1,472 acres would be needed.

IV. HOUSEHOLD GROWTH

The existing house stock within the community can provide important insight both projecting future household types and identifying potential opportunities related to promoting a variety of life-cycle housing.

Table 3-11 illustrates differences in housing within local communities and regional governments. The statistics indicate a mix of general housing options/choices within Jordan at this time.

**TABLE 3-11
OWNER-OCCUPIED AND RENTAL STATISTICS-2000 CENSUS**

Area	Owner-Occupied	% of Total Units	Renter Occupied	% of Total Occupied Units
Belle Plaine	1,089	78%	307	22%
Jordan	1,110	82%	239	18%
Le Sueur	1,117	72%	428	28%
New Prague	1,286	76%	408	24%
Norwood Young America	853	73%	318	27%
Scott County	26,535	86%	4,157	14%
State of MN	1,412,865	75%	482,262	25%

Source: 2000 Census date: Dwelling Units by Type

Household growth within the City is expected over the next two decades. A breakdown of projected household growth within Scott County is illustrated in Table 3-12, below. Census data indicates the number of households within the City of Jordan increased 29% over the past decade from 1,042 households in 1990 to 1,349 in 2000. The Metropolitan Council projects the number of households within Jordan will increase at a faster rate of growth than the overall household growth within Scott County.

**TABLE 3-12
PROJECTED HOUSEHOLD GROWTH**

Year	Scott County Households	Jordan Households
1990	19,367	1,042
2000	30,692	1,349
2010	53,460	2,150
2020	73,500	3,700
2030	85,890	5,200
2000-2010 % change	74%	59%
2000-2030 % change	180%	285%

Source: Met Council System Statement for Scott County and Jordan. 1990 and 2000 data from U.S Census.

V. JORDAN POPULATION CHARACTERISTICS

A. Household Size and Type

As of 2000 the total 1,423 housing units, 1,349 or 94.8% were *occupied* housing units. Of the total number of occupied units, the U. S. Census data indicates a significantly higher percent of family households (72.7%) than non-family households (27.3%) within the City of Jordan. The Census defines non-family households as those with persons who are not related by birth, marriage or adoption.

**TABLE 3-13
OWNER-OCCUPIED HOUSEHOLD TYPES**

AREA	FAMILY HOUSEHOLDS	NON-FAMILY HOUSEHOLDS	TOTAL
City of Jordan	981	368	1,349
Sand Creek Township	391	87	478
St. Lawrence Township	128	16	144
Scott County	23,977 (78.1%)	6,715 (21.9%)	30,692 (100%)

Source: 2000 Census, Minnesota State Demographer's Office

The average household size in 2000 was 2.84. The average household size reported in the 2000 Census for Scott County was 2.89 persons per household.

As depicted in the following Table, 2000 statistics indicate just over half of all households consist of married couples. Children 18 years and under reside in 40% of all family households.

**TABLE 3-14
FAMILIES BY PRESENCE OF CHILDREN AND FAMILY TYPE – 2000 CENSUS**

Households by Type	Number
Total Occupied Households	1,349
Total Family Households	981 (72.7%)
Total Family Households with children under 18 years old	598 (44.3% of all Family Households)
Married Couple-Family Household With and without children	732 (54.3% of all Family Households)
Married Couple-Family Household with children under 18 years old	424 (31.4% of Married Couple-Family Households and 44.3% of all Family Households)
Female householder, no husband present with children under 18 years old	171 (12.7% of all Family Households)

Source: 2000 Census

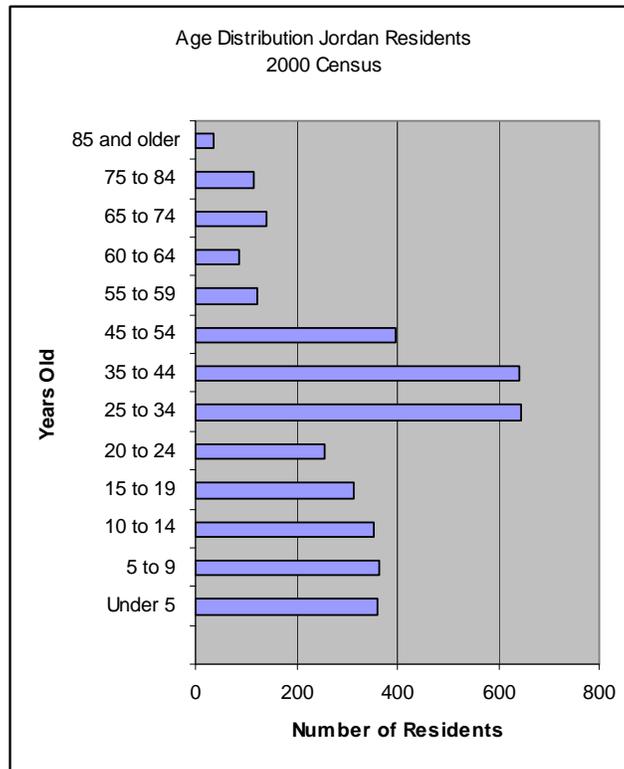
B. Age

Table 3-15 identifies the age distribution within Jordan. The City of Jordan had a median age of 29.2 years (2000 Census). This is slightly lower but comparable to a Scott County median age of 32.7 years. The median age in Minnesota was 35.4 years and the U.S. median age in 2000 was 35.3 years.

**TABLE 3-15
JORDAN AGE GROUP DISTRIBUTION**

Age Group (Years)	Jordan 2000 Census	Percent Of Total Population
Under 5	362	9.4%
5 to 9	364	9.5%
10 to 14	354	9.2%
15 to 19	315	8.2%
20 to 24	257	6.7%
25 to 34	646	16.9%
35 to 44	640	16.7%
45 to 54	395	10.3%
55 to 59	124	3.2%
60 to 64	85	2.2%
65 to 74	140	3.7%
75 to 84	114	3.0%
85 and older	37	1.0%
Total	3,833	100.0%

Source: U.S. Census- 2000



C. Educational Attainment.

The City of Jordan is a part of School District #717, along with adjacent townships. The School District includes an elementary school, junior high school and high school. According to the 2000 Census, the City of Jordan had 1,246 people aged three years and older who were currently enrolled in school. These students were enrolled as follows:

Level of School/Type of School	Number	Percent
Nursery school/ preschool	109	8.7%
Kindergarten	95	7.6%
Grades 1-8	611	49.0%
Grades 9-12	264	21.2%
College or Graduate School	167	13.4%
Total Enrolled in School	1246	100.0%

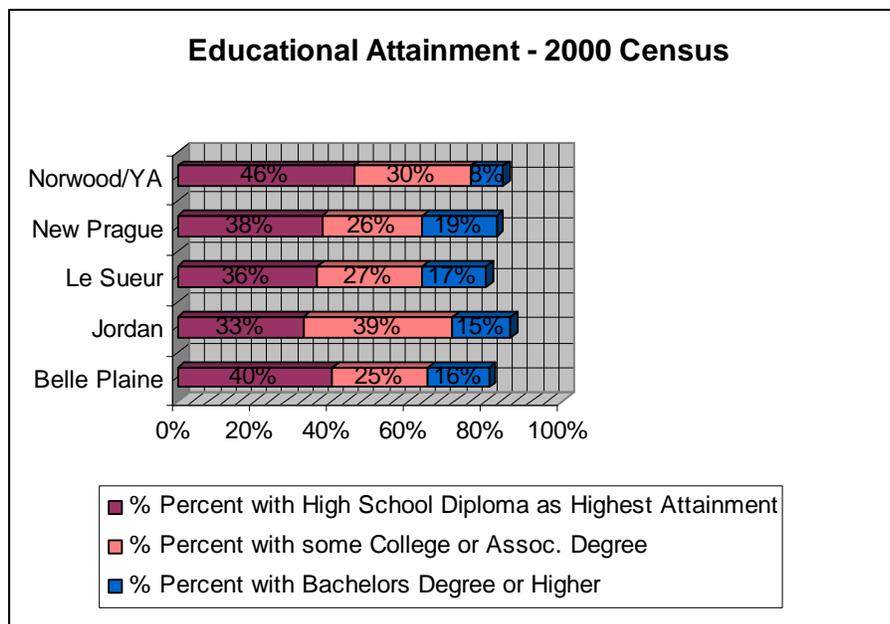
According to the 2000 Census, there were 2,127 people in Jordan 25 years of age and older. Of these, 88.7% (1,888) graduated from high school. Of those not graduating from high school (239), 38% (91) completed less than 9 years of education and 59% (142) completed between 9 and 12 years of education but did not obtain a diploma. 16.4% or 349 individuals of the population 25 years and over obtained bachelors degrees or higher.

When compared to cities similar in size and geographic location, Jordan residents fall mid-range for number of residents with high school diplomas or bachelors degree (or higher) as their maximum level of education attained.

**TABLE 3-16
MAXIMUM LEVEL OF EDUCATION ATTAINED POPULATION 18 AND OVER**

Area	With Diploma	Percent	W/O Diploma	Percent	Some College or Assoc Degree	Percent	Bachelors or Higher	Percent	Total
Belle Plaine	1,106	40.15%	523	18.98%	687	24.94%	439	15.93%	2,755
Jordan	822	32.70%	334	13.29%	979	38.94%	379	15.08%	2,514
Le Sueur	1,042	36.43%	565	19.76%	780	27.27%	473	16.54%	2,860
New Prague	1,178	37.60%	532	16.98%	813	25.95%	610	19.47%	3,133
Norwood/YA	995	45.89%	335	15.45%	655	30.21%	183	8.44%	2,168

Source: U.S. Census 2000



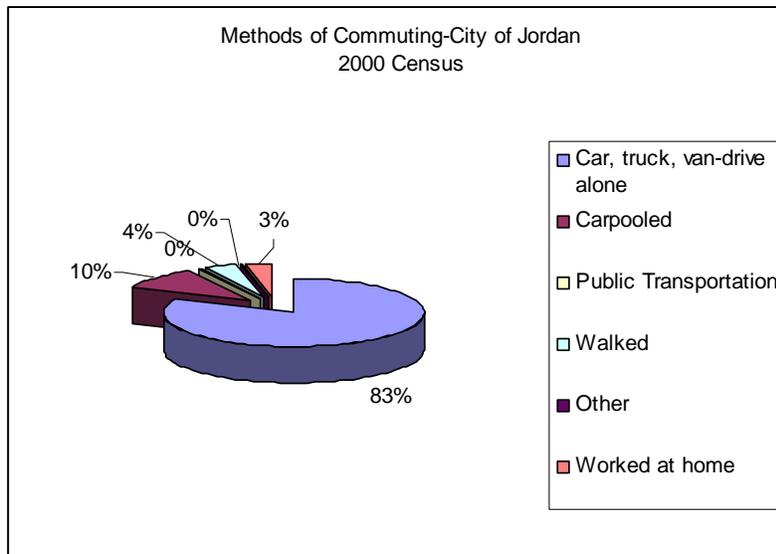
D. Employment

Employment statistics from the 2000 census indicates 2,637 people age 16 and over are in the labor force. The mean time traveled to work by commuters was 25.3 minutes, in 2000. The Table below illustrates the methods of getting to work by the 1,926 employees who commute.

**TABLE 3-17
METHODS OF TRAVELING TO WORK**

	Number of commuters	Percent of commuters
Car, truck, van-drive alone	1,576	81.8%
Carpooled	199	10.3%
Public Transportation	2	0.1%
Walked	76	3.9%
Other	8	0.4%
Worked at home	62	3.2%
Total Employees	1,926	100.0%

U.S. Census Bureau Census 2000



The Minnesota Work Force Center estimates 68,738 people in the labor force in Scott County in March 2006, with 65,973 employed, resulting in a 4.0% unemployment rate. During this same time period Minnesota had an unemployment rate of 4.2% and the United States unemployment rate was 4.5%.

E. Income

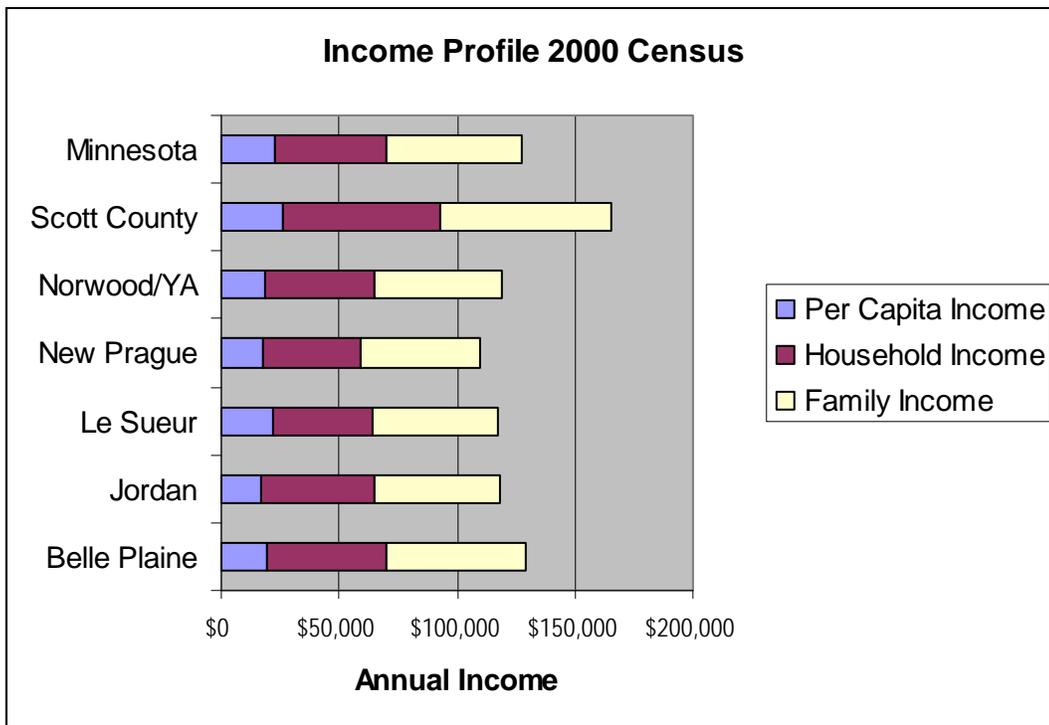
The 2000 Census reports a median *family* income in Jordan of \$53,363. The median *household* income in Jordan was \$47,468. Comparing the median *household* income with other area communities, Jordan's is higher than that in the cities of Le Sueur, New Prague and Norwood Young America and the state average. The City of Jordan's median household and family income levels are significantly lower than Scott County's.

The 2000 Census indicates that 156 people (4.1% of the population) in Jordan were below the poverty level. Of the communities surveyed Jordan had more persons living in poverty than Scott County as a whole (3.4%), but fewer than the City of Belle Plaine (5.8%), City of Norwood Young America (5.6%), New Prague (6.5%), Le Sueur (8.8%) and the state average (7.9%).

**TABLE 3-18
1999 INCOME PROFILES**

Area	Per Capita Income	Household Income	Family Income	% People Below Poverty Level
Belle Plaine	\$19,433	\$50,272	\$59,539	5.8
Jordan	\$17,217	\$47,468	\$53,363	4.1
Le Sueur	\$21,605	\$42,372	\$53,362	8.8
New Prague	\$17,732	\$41,750	\$50,341	6.5
Norwood/YA	\$18,431	\$46,152	\$54,792	5.6
Scott County	\$26,418	\$66,612	\$72,212	3.4
Minnesota	\$23,198	\$47,111	\$56,874	7.9

Source: 2000 Census- 1999 statistics.



Source: 2000 Census

The Minnesota Department of Employment and Economic Development calculates average weekly wages for employment positions within cities and counties in Minnesota. Table 3-19 illustrates average weekly wages for the latest full year period available (year end 2006) at the time of the drafting of this Chapter (April 2008). The table reveals the average weekly wage for jobs located in the City of Jordan is higher than the other similar neighboring areas studied, but lower than the seven county metropolitan area and state average.

**TABLE 3-19
AVERAGE WEEKLY WAGE FOR JOBS WITHIN JORDAN 2006**

Area	Average Weekly Wage	Estimated Jobs
Belle Plaine	\$443	1,782
Jordan	\$711	1,709
Le Sueur	\$630	2,416
New Prague	\$538	3,134
Norwood/YA	\$608	1,459
Minneapolis St. Paul Stat. Area	\$925	1,615,740
Minnesota	\$811	2,678,203

Source: MN Department of Employment and Economic Development 2006

F. Race

2000 Census statistics indicate 3,606 of the 3,833 residents (94.1%) of Jordan residents classify themselves as white or Caucasian. 0.6% (23) of the population is American Indian or Alaskan Native, 0.5% of the population is Black or African American (19), 0.2% of the population (7) is Asian, 3.1 % reported “some other race” and 1.5% noted two or more races.

When compared to other communities sampled, Jordan has a more racially diverse population than New Prague (1.8% minority) or Norwood Young America (1.9% minority) but not as racially diverse as Le Sueur (7.5 minority) and Scott County (6.4% minority). The Minnesota Demographer’s Office reports the two most significant demographic trends shaping Minnesota thru the year 2025 are the aging of the population and an increasingly diverse population.