



Central Business District
Design Standards
MANUAL



Design Standards for
Jordan's Central Business District

Prepared by

Jordan Planning Commission/Community Growth Options Committee
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Jordan Planning
Commission

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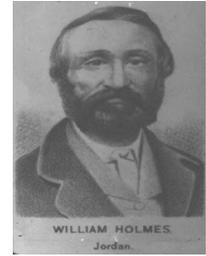
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History of Jordan and its Central Business District

The City of Jordan was founded in 1854 by William Holmes and became incorporated in 1891. The City was named for the River Jordan. Over the past 155 years, the City has experienced growth and changes including new construction of residential subdivisions, highway commercial development, industrial development, demolition of buildings as well as restoration to its historic downtown. The City continues to place an emphasis on its Central Business District recognizing the importance of retaining its earliest commercial structures. It is the heart of the community.



Some of the first buildings in Jordan were a hotel, a school, a tavern and the post office. In the mid 1800's, the Jordan Brewery Inc., was founded by Frank Nicolin. Later converted to an egg incubator, the old brewery building remains an important historic building on the southern edge of Jordan's Central Business District. It is now home to an antique and craft store with residential apartments and offices on the upper level. Located to the west of the old brewery and to the south of the Central Business District, is the City's Mini-Met Park. In the early 1900's, this was as a private park for social gatherings and baseball games. Today, the city-owned Mini-Met ballpark is considered one of the best amateur baseball fields in the state. The ball field is the home of the Jordan Millers, Ahlers, the Jordan High School.



Jordan's Central Business District mainly consists of 10 city blocks, with Varner Street, Rice Street and Broadway Streets, running north-south through the district, and Mill Street, Water Street, 1st Street and 2nd Streets running east-west through the downtown.

According to Scott County land use records one-third of the buildings in Jordan's Central Business District were constructed between 1901 and 1925. Jordan's Historic District was added to the registry in 1980 and a number of buildings in Jordan are listed on the National Register of Historic Places. This district includes 12 buildings along Water Street and South Broadway. The Jordan Brewery Ruins, also known as the Schutz and Kaiser Brewery, was added in 1980. It is located South Broadway Street.

Today, approximately 45% of the structures in the Central Business District are single-story buildings, over one-third are two-story structures, with the remaining buildings 1 ½ and 3 story structures. Of those buildings, 72% have flat roofs, 15% have a gable or sloped roof and 5% are mixed roof types. Buildings in the Central Business District are primarily brick, with a mix of other façade materials.

The City of Jordan, through its Comprehensive Planning process, identified a need to preserve and build on the historic character of the downtown to serve local residents as well as serve as a tourist destination.



As a part of the Comprehensive Planning process in 2007, the City conducted a community survey, public input sessions and a business meeting. The desire of the community to build on the historic charm of the downtown, preserve the character of the architecture and make the downtown a community gathering place was a consistent message received. To those ends, the Comprehensive Plan includes land use policies relating to retaining downtown as a gathering place, maintaining the historic character by encouraging private sector rehabilitation and renovation of existing buildings, and working with the business community to develop design standards for new and remodeled buildings to ensure the building mass, scale and facades are compatible with existing buildings.

Development Process:

The Jordan Planning Commission, with representatives from the Economic Development Authority and Park Board and City Council served as a "Community Growth Options Committee" to guide the development of the design standards. Meetings over an eight month time period included community input sessions with a visual preference survey, a design charrette, an open house and public hearing. To obtain input from those unable to attend meetings, surveys which were mailed to all property owners. In addition, guest speakers from the MN Preservation Alliance, State Historic Preservation Office and an area Historic Preservation Commission spoke to the committee and public regarding design standards and various state and local programs for preservation. As a result these Design Standards were developed as a tool to assist in implementing the policies and goals of the Comprehensive Plan relating to the Central Business District.

Design Standards Manual

The purpose of the Design Standards Manual is to establish minimum standards for the design and construction of Jordan's Central Business District. These standards are intended to establish guidelines for improvements to existing buildings and to guide development of new construction in the Central Business District. These standards are applicable to the exterior rehabilitation or improvements of buildings. They do not apply to interior modifications.

The Design Standards within this manual are intended to preserve and create quality, historic spaces and continue the unique quality of Jordan's central business district.

The Design Standards are intended to offer solutions which are flexible, allowing property owners to work in cooperation with the Jordan Planning Commission to arrive at a design which protects the integrity of the Central Business District and assists in achieving the overall vision for the historic character of the downtown.

Applicability- The Design Standards apply to the areas within Jordan's Central Business District depicted on this map, as well as areas which may be rezoned C-2, Downtown District, in the future. The design standards apply to exteriors, both improvements and new construction, but do not apply to interiors.

Street Facade: These Standards shall apply to the facade of all principal and accessory structures that face a public street.

Alley Facade: The requirements of this chapter shall apply to the facades of principal and accessory structures that face alleys where the alley facade is visible from the street right-of-way.

Building Modifications: The improvement or modification of one portion of a building (e.g. window replacement) shall not result in the requirement to upgrade other portions of the structure (e.g. facade, landscaping); rather design requirements and review shall only apply to the element proposed to be changed.

Building Additions: If an addition is proposed to be constructed to an existing structure, the Planning Commission shall review the addition for compatibility and may require components of the existing structure to be modified to ensure compatibility.

Areas where the Standards apply:

The Design Standards apply to the areas within Jordan's Central Business District depicted on this map, as well as areas which may be rezoned C-2, Downtown District, in the future.



Building Design

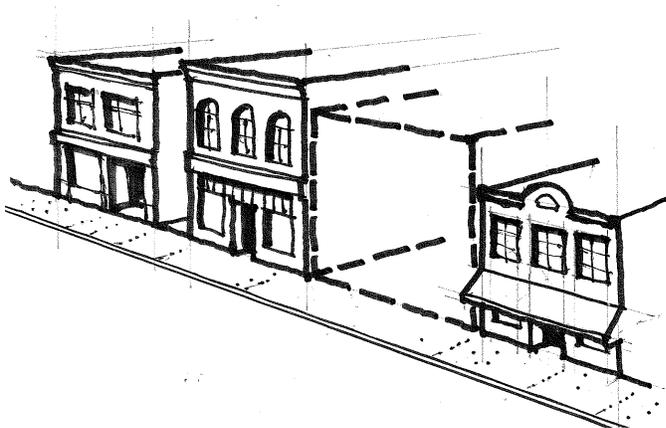
■ Building Proportion:

Jordan's Central Business District is marked by a pattern of one-story small commercial buildings and two-story buildings with narrow width-to-height proportions. Main entrances are located along streets with building access and the exits from upper levels often built between buildings, exiting out onto the sidewalk. These features define the scale and character that are trademark of the Central Business District. New construction should reflect these characteristics if the District is to maintain a strong and direct connection to the street and its past.

Each building should be designed with a well-defined base, a mid-section body, and a top story (roofline). Long, blank, unarticulated building walls over 25 feet in width are strongly discouraged. Mass can be reduced by adding vertical and horizontal variations in wall and roof planes, building projections, projecting ribs, reveals, door and window bays, and similar design elements. The use of varying materials also helps to reduce the scale of walls; changes in material should occur where wall planes change.

■ Building Height:

A variety of building heights adds to the visual interest of the streetscape; however, façades with extreme height variations can disrupt the scale of the street. Jordan has a number of single-story and smaller two-story buildings that contribute to the appearance of the Central Business District. These standards are sensitive to retaining the existing stock of buildings in Jordan and also to strengthen the image of the streetscape and sense of closure.



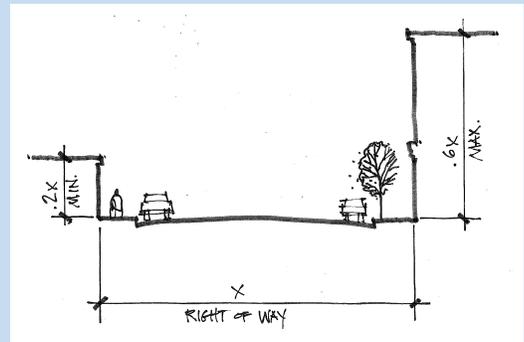
Standards:

- New building construction in the Central Business District shall emulate, in façade width and height, the proportions that reflect the image of individual lot ownership on narrow lots, two (2) or more stories in height.
- Developments that cover multiple narrow lots shall mimic the narrow width-to-height proportional pattern through the use of façade details, openings, and entrances.



Standards:

- Principal structures located within areas zoned C-2, the Central Business District, may be one to three stories in height. Principal structures shall have a minimum height of 20 percent (20%) of the right-of-way width, but not more than sixty percent (60%), or 50 feet in high, whichever is less.
- The height of principal structures shall not deviate from the height of adjacent buildings by more than one story.



■ **Building Details & Definitions:**

Transom Window: Small windows (sometimes hinged) above the lintel of a door or another window. Designed to admit light deep into the buildings.

Bulkhead: A bulkhead is the space located between the sidewalk and the bottom of a traditional storefront. Heights for new storefront designs should be approximately 36 inches.

Cornice: The projecting member of a building elevation which spans the top of the storefront.

Cornices help to reduce scale by defining stories.

Display Window: Display windows are primarily constructed of glass. Normally, these are designed to be recessed into the storefront opening between piers.

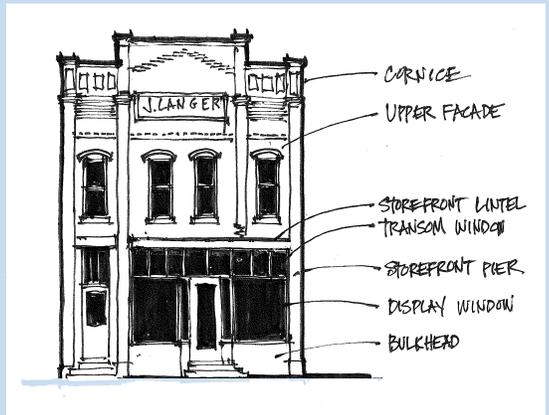
Piers: Piers frame the storefront and define space between adjacent buildings and storefronts. Piers typically match the design and detailing of a façade's upper stories.

Other Details: Details and colors found in Jordan; such as an iron railing, terra-cotta shape, a lintel or parapet, can be used as functional design elements in new construction. These help to maintain a connection with the past and to identify Jordan with a sense of place.



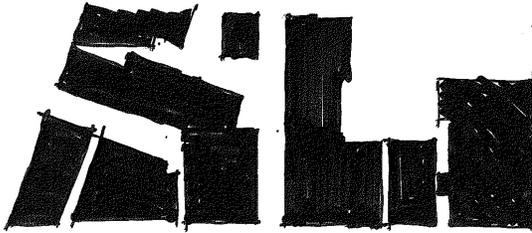
Standards:

- a. Storefronts should be based on modules approximately 25 feet wide. New buildings that are wider than existing facades on the street should be broken down into a series of "structural bays" by use of piers or a series of columns.
- b. Corner buildings should include storefront design features for at least 50% of the wall area on the sidewall.
- c. Each storefront should be treated like as a small building, with its own base, roofline, and door and window pattern.
- d. Incorporate found historical details and use them in new and remodeling work where appropriate.



■ **Spaces Between Buildings:**

One characteristic of Downtown Jordan is that many of its taller buildings were constructed with spaces between them, likely out of consideration for fire safety, but also to maintain access to light and air. Stairs are typically found in these areas to provide access to the upper floors. In some cases, windows are found on the sides of buildings where shorter structures are constructed adjacent to taller buildings. These spaces are irregular in size and shape, and are used both as utilitarian space and as places for people to gather. Left open, these areas can distract from the continuity of the streetscape. They can become eyesores.



Standards:

- a. Vision gates should be provided in the gaps between buildings along sidewalks to maintain continuity of the street closure without creating opaque walls. Gates will enable owners to either allow or deny public access to these spaces as they permit. Gates for required exits must permit free egress to the public way.
- b. Egress stairways from upper floors should be constructed of materials and detailed in a manner that is compatible with the main structure to which it is attached.
- c. Refuse containers and materials storage between buildings and next to the street sidewalk should be screened with a vision gate or fence to draw one's attention to the foreground and away from the containers and storage materials.



■ **Building Materials:**

Exterior materials within areas zoned C-2, need to compliment the historic character of Old Town Jordan. Because history is always being created, buildings need not replicate those of the 1890s, rather the materials used to construct new buildings need to possess the same quality of the materials used in historic structures. Qualities such as durability, scale, color, and detailing, all help define a building's place in the ongoing history of Jordan.

■ **Colors:**

Unlike freeway businesses that rely on eye-catching colors and trademark features for identification, the scale and pace of Jordan's Central Business District does not require reliance on those tools to draw in motorists. Colors take on a less vital role in the focus of the Central Business District. Here connections are between businesses and slower street and pedestrian traffic. Colors in the downtown district should be muted, earth-toned, and reflect the colors of a building's period of construction, not the fads that may have accompanied those periods.

Color Palette: Reference Color Palette Board is available for viewing at the City of Jordan Planning Office.

Standards:

- a. Facades shall be constructed of approved materials which include, stone, brick, concrete, stucco, wood, architectural metal, clear glass, and tinted glass. Artificial stucco or adhered brick systems, such as exterior insulation finish systems (EIFS) or thin brick, may be allowed only in applications where the Planning Commission has determined it meets certain criteria.
- b. Prohibited facade materials include, formed metal panels, aluminum, vinyl, lap siding, porcelain panels, non-textured oncrete panels and asphalt shingles. However, the use of these materials as trim or accents are allowed provided they do not constitute more than ten percent (10%) of the area of any façade. No reflective glass shall be allowed on the first floor.
- c. Buildings shall have a mix of façade materials and design features to reduce long, blank walls. Design features may include, among other features, windows, doorways, cornices, niches and recesses.

Standards:

- a. Colors shall be muted or earth tone. Accent colors are allowed but may not exceed twenty five percent (25%) of the unglazed area of the façade.
- b. A color palette is available for viewing at the City of Jordan's Planning Office.
- c. Major paint manufacturer's Historical Color Palettes are generally acceptable.

■ **Windows And Doors:**

Openings give buildings a human scale and reinforce the small town scale of the City's architecture. Closed street-level facades turn their back on visitors and do not promote direct interaction and connection with the street. From a practical standpoint, windows along the street should be tall in order to allow daylight to penetrate deep into the narrow, closely spaced buildings. Building recesses are encouraged to define entryways and window openings along a building's exterior, and to provide a weather-protected transition zone from sidewalk to store interior. Recesses allow out-swinging doors that do not encroach into the sidewalk. These recesses permit the use of special paving materials such as ceramic tile or brick, and the opportunity to use ornamental ceilings such as coffering and decorative light fixtures.



Standards:

- a. The design and location of windows and doors shall consider the architectural tradition of the building and its adjacent structures.
- b. Clear glass allowing a minimum of seventy percent (70%) visible light transmittance shall be used on the first floor. Tinted or reflective glass may be used on upper floors.
- c. The replacement of windows with opaque materials (nontransparent, impenetrable to light) shall be prohibited. Openings originally designed as windows shall retain the appearance of being a window. Replacement windows shall fill the entire opening.
- d. Windows and openings should be generous, particularly at street level on sides adjacent to streets and lanes. Openings should be at least thirty to forty percent (30-40%) of the façade area.
- e. Building facades shall be modulated by the use of pilasters, recessed entrances to shops, projecting windows, and similar features to avoid long building walls and blank facades.



■ **Building Roofs:**

Roof profiles in Jordan are predominantly flat or slightly pitched, behind a strong, detailed parapet. Sloped roofing is found in the Central Business District, and though it is not characteristic of the majority of the buildings, the roof lines do allow some additional openness to the street, particularly on multi-lot developments that deviate from the pattern of buildings with narrow spaces between.



Standards:

- a. Roof profiles may be flat or pitched. On flat roofs, the exterior walls must form a cornice at the top to create a strong edge.
- b. Rooftop equipment shall be completely screened from view by a parapet wall or an enclosure using the architectural elements and exterior material from the building, provided they are consistent with these design standards.
- c. Sloped roofing may be approved where sloped roofs are present on structures in the vicinity. The maximum structure height may be measured from the midpoint of the roof pitch.



■ **Building Overhangs, Awnings and Canopies:**

Overhangs, awnings and canopies add detail to what can otherwise be a blank façade. They offer temporary shelter and allow shopping and storefront gazing to continue during inclement weather. Retractable awnings, when deployed, help to say “We’re Open”. When continuous along adjacent storefronts, they help unify the block and provide an opportunity to easily hang blade-type signs for individual stores.



Recommended fabric or retractable awnings



Fixed awnings of approved materials should match the buildings architectural style and detailing

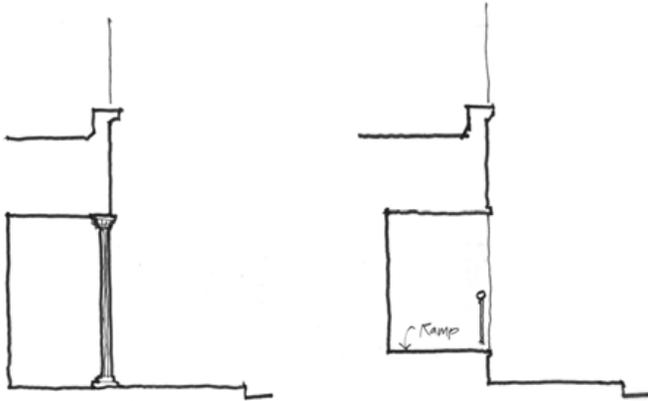
Standards:

- a. Overhangs, awnings and canopies shall reflect the style and character of the structure, particularly in material and color. They may be made of durable canvas if the other requirements of this standard are met.
- b. Overhangs, awnings and canopies materials designed for backlighting shall not be approved.
- c. The minimum height of any overhang, awning or canopy shall be eight feet (8') from their lowest point to the sidewalk.
- d. Overhangs, awnings and canopies are encouraged along the lanes, at plazas and at doorways.
- e. New overhangs, awnings and canopies or similar structures which overhang or extend into the right-of-way may be allowed if approved by the city.

Site Design

■ Building Setbacks:

A well-defined edge is important to maintain a direct connection between businesses and the public way. Recesses that break up the continuity of the street front must be public areas that compliment the streetscape and the pedestrian experience.

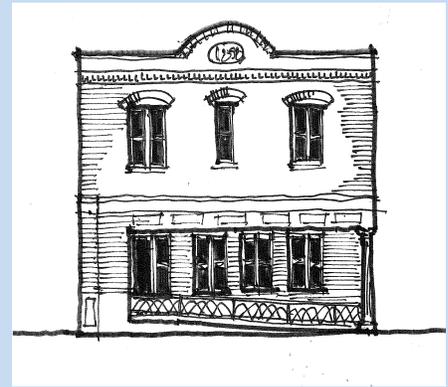


■ Parking:

From earliest photographs it is evident that street parking in front of Jordan's businesses existed, and it remains a feature today. Convenient and plentiful parking is felt to be an important life link for businesses. The walk-ability of Jordan's streets suggests that a sensitive placement of centralized parking lots could be effective in encouraging pedestrian traffic in and throughout the city.

Standards:

- Buildings, along and north of Water Street, shall be constructed to the front lot line and side corner lot lines, or shall provide a pedestrian-oriented plaza between the building face and the sidewalk. The use of asphalt paving in any plaza is prohibited.
- Buildings must be oriented to the street and have their main entrance off the public sidewalk.
- Buildings may establish a setback that accommodates ramps for accessibility for individuals with mobility impairments.
- The Planning Commission may recommend to the City Council the approval of a setback of a building from the front or side lot line when the sidewalk is less than eight (8) feet from face of the curb to the building face.



Standards:

- Off street parking areas shall not be allowed between the front of any building and the sidewalk in areas along and north of Water Street, except for private driveways.
- All off street parking areas shall be paved with Portland cement, bituminous or another durable product as approved by the City Engineer.
- Curbs or bumper stops shall be placed to prohibit vehicles from extending into sidewalks or other pedestrian ways.

Landscaping & Screening:

Jordan's Central Business District (CBD) is currently enhanced by street lined trees, private landscape gardens in open bays and a mini park. Jordan recognizes the importance of landscaping in the CBD not only as a method of providing shade for pedestrians; screening of parking areas, trash receptacles and utilities; but also as a method of softening building features, creating green spaces for pedestrians to gather and in developing continuity in design while encouraging a colorful landscape. Adjacent are general standards which should be taken into consideration for landscaping in the CBD.



Fencing

- a. Standards within Chapter 11 of the City Code shall apply within the CBD. In addition to prohibited fencing materials identified in the City Code, chain link fencing shall also be prohibited in the CBD.
- b. Rock, brick and iron rod are encouraged fencing materials in the downtown.

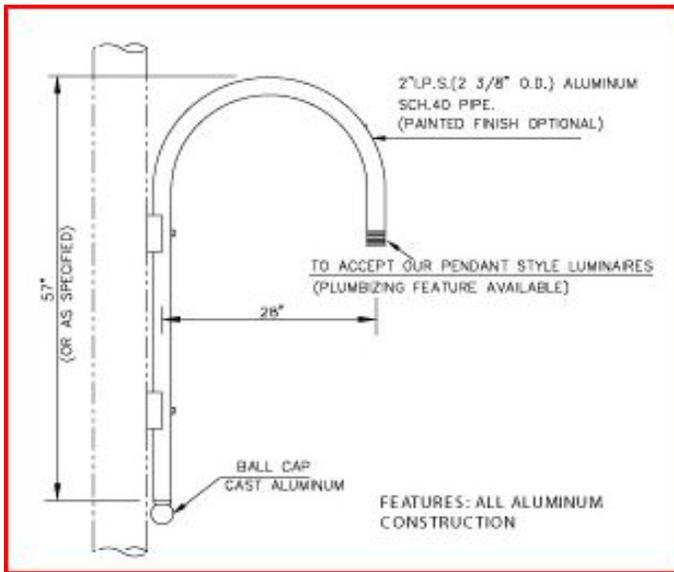
Standards:

- a. Plant materials should be conducive to an urban setting with the ability to withstand extended wind, sun and salt exposure. Plant materials shall be insect and disease resistant.
- b. New plant materials shall be appropriate in scale and species to existing plant materials in the CBD. Trees shall not be located where they will be in contact with buildings. Climbing vines and planter boxes are permitted.
- c. Landscape materials shall be used to enhance rather than block important architectural elements of buildings.
- d. Plant materials shall be of a human-scale, with shrubs no higher than six feet.
- e. Landscaping and site improvements shall consider the quality of the open spaces between buildings. Where extensive landscaping is proposed, the landscape plan shall take into account a variety of plants to provide color in more than one season.
- f. Landscaping shall be maintained in a healthy, weed-free condition.
- g. Landscaped areas in parking areas shall be protected by raised curbing or if planted below grade to collect storm water, a partial perimeter curb.
- h. Screening of trash receptacles, air conditioner units and other utilities is required and shall not be readily visible from the public right of way. Acceptable screening includes walls and/or landscaping.



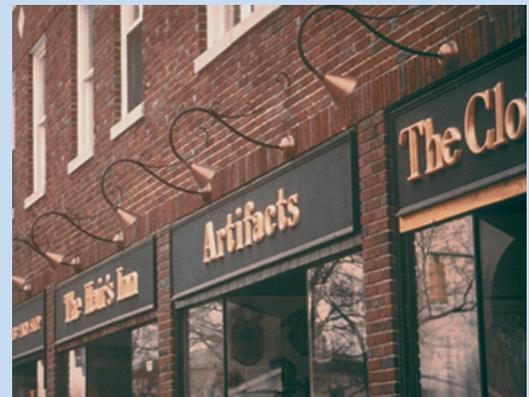
Lighting:

Decorative lighting contributes to the downtown image. Lighting shall consider the type of traffic (vehicular or pedestrian) and speed of travel. Where taller poles and fixtures that overhang the roadway are required for certain roadways, features such as the use of a "bishop's crook" accessory on the side of these poles can provide additional lighting for the pedestrian walkways, thereby obtaining dual usage from the poles and maintaining lighting that is for pedestrians as well.



Standards:

- a. Cross streets and adjacent streets will benefit by using a smaller scaled fixtures.
- b. Light Uniformity: Lighting levels need not be uniform to be effective. The ratio of average-to-minimum illumination can be raised to provide varied illumination and interest while still keeping lighting at safe levels at the edges of lighted areas.
- c. Pathway lights should be street-type fixtures which provide more efficient lighting and are less susceptible to damage than bollard-type pathway lights.
- d. Consider fixtures that will not contribute to dark sky lighting.
- e. Exterior building lights shall be decorative and of a traditional design complimentary to lighting used on the streets. Lighting shall be of a downcast type with a screened lamp to avoid glare. Light levels (foot-candles) should be scaled to be compatible with the projected light levels for Broadway and the cross streets.



Source: www.sign-lights.com/images/storefront.gif

Application and Review Process

A request for new construction or building site modifications in the Central Business District shall require a Design Review Permit. Minor improvements, as defined below, may be reviewed and approved by the Zoning Administrator. Appeals to the Zoning Administrator's decision(s) may be made to the Design Review Committee and Planning Commission.

Major Improvements, as defined below, shall be reviewed and approved by the Design Review Committee and Planning Commission. The Planning Commission shall prepare a recommendation to the City Council for approval, conditional approval or denial. The City Council shall have the final authority on applications.



- a. Minor Improvements – minor exterior alterations to existing buildings, but which do not require separate zoning permits. Maintenance of existing buildings requiring a building permit and replacement of materials consistent with Downtown Design Standards will require only administrative review.
- b. Major Improvements – projects requiring Design Review Committee/Planning Commission approval include:
 - i. New building construction
 - ii. Projects in which the building design or materials of more than 25% of any single exterior building wall or roof surface is altered.
 - iii. Projects which require a variance, subdivision approval, conditional use permit, other zoning permit or amendment.
 - iv. Projects that alter the height of an existing building by more than two feet up or down.
 - v. Projects which alter the lot coverage of an existing building by more than 10%.
 - vi. Accessory buildings within overlay districts.

Required data:

- Design Review Application
- Written description of the proposed construction or alteration.
- Elevation drawings at a scale of 1/8" to 1/4" per foot.
- Site Plan at 1" = 20', showing the lot and structures, dimensions, setbacks, and adjacent uses.
- Preliminary Grading plan showing proposed drainage and control of stormwater for new construction and site-altering renovations.
- Preliminary Landscape plan, proposed landscape materials, proposed fill soils, and description of maintenance plan.
- Lighting plan with light level calculations.
- Contextual sketches, if requested by the Zoning Administrator.
- Material samples and color swatches, if materials/colors are being changed.

A variance to the provisions of the Design Standards may be issued if the conditions and procedures of Section 11.11, Subdivision 5 of the zoning ordinance are met.

Community Design Charrette Outcomes and Expectations

Twenty-two community members participated in a Design Charrette to assist in defining the vision for Jordan's Central Business District, the following is a summary of the charrette's findings: The community would like to establish a sense of place, vitality and a distinctive image of Jordan that visitors can take with them. Without this, the city is merely a place through which people pass through on their way to somewhere else.

Current Assets and Overall Suggestions:

- Jordan Baseball Park (Mini-Met Field) and Lagoon Park
- Sand Creek- Reconnect Sand Creek visually and functionally to downtown. Establish a physical connection to the Creek with views, slopes, vegetation, trails, crossings and active recreation. Take advantage of existing crossings and consider pedestrian restricted crossings. Open views to the Creek established by removing the underbrush and removing invading species such as the Buckthorn. Indigenous species should be planted to control erosion and to provide suitable ground cover. Minimal use of rip-rap. Healthy mature trees should be retained and properly trimmed.
- Provide a combination of pathways along the Sand Creek with links to downtown sidewalks and lanes between Mini-Met and Lagoon Park
- Walk-ability within Central Business District
- Courtyards planted between buildings
- Iron work used in windows, fences, and for stairways.
- Decorative/stone trash cans on sidewalks
- Addition of molding, cornices, or scalloping to non-brick buildings and to featureless brick buildings
- Signs on iron posts perpendicular to streets
- Walk up/set back entrances
- Hanging vegetation
- Library brick detailing. Add windows.
- Parking in center of Broadway
- Increase glass on street level
- Trash enclosures added
- Enforcement of property maintenance
- Consider use agreements with property owners for shared use of open space between buildings.

Current Opportunities:

- Investigate redesign of State roadway to permit center street parking and addition of pedestrian-friendly features along Broadway
- Identify areas for centralized parking convenient to downtown
- Enhance the connection between the Downtown and Jordan's amenities. Where possible, use space between buildings, develop pedestrian-friendly connection to the ballpark and community park.
- Encourage shopping and patronage by adding accessible entrances to stores
- Update the 1970s changes to facades
- Repair exterior staircases that are in disrepair. Match materials of the main building where possible.
- Screen trash receptacles
- Design a "For Rent" sign for use in each vacant space for consistency and avoid highlighting vacancies
- Enforce property maintenance
- Apply detailing where possible on garage doors and metal pole buildings in the Central Business District

Acknowledgements

Planning Commissioners:

Rolf Hafslund
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John Levar
John Watkins
Dawn Benko
Terry Jeffrey
Jeanne Marnoff, City Council Representative to the Planning Commission

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